

# TOWN OF ELIZABETH



## DESIGN REVIEW STANDARDS & GUIDELINES January 2011

# - *Table of Contents* -

## **Table of Contents:**

<b>Chapter 1: Introduction .....</b>	<b>1</b>
Section 1: Authority and Purpose.....	1
Section 2: Users and Implementation.....	2
Section 3: Applicability, Exemptions, Waivers, Relation to Other Codes & Effect.....	3
Section 4: Procedural and Submittal Requirements .....	4
<b>Chapter 2: Context Design Standards &amp; Guidelines.....</b>	<b>5</b>
Section 1: Natural, Cultural, & Architectural Context.....	5
Section 2: Relationship to Adjacent & Nearby Properties .....	6
Section 3: Relationship to Street Frontage .....	7
<b>Chapter 3: Site Design Standards &amp; Guidelines.....</b>	<b>8</b>
Section 1: Natural Features & Critical Areas .....	8
Section 2: Open Space & Recreation .....	8
Section 3: Pedestrian Plazas .....	10
Section 4: Site Design for Safety .....	11
Section 5: Site Lighting.....	11
Section 6: Utilities & Service Areas .....	12
Section 7: Stormwater Facilities.....	13
<b>Chapter 4: Building Design Standards &amp; Guidelines - Residential .....</b>	<b>14</b>
Section 1: Lot Variation .....	14
Section 2: Building Mass & Scale.....	15
Section 3: Architectural Style & Related Matters .....	15
Section 4: Related Residential Uses.....	19
Section 5: Historic Buildings .....	19
<b>Chapter 5: Building Design Standards &amp; Guidelines - Non-Residential.....</b>	<b>21</b>
Section 1: Building Mass & Scale.....	21
Section 2: Architectural Style & Related Matters .....	22
Section 3: Façade Treatment & Building Elements .....	22
Section 4: Historic Buildings .....	27

<b>Chapter 6: Landscape Design Standards &amp; Guidelines</b> .....	<b>28</b>
Section 1: Planting .....	28
Section 2: Parking Lot Landscaping .....	30
Section 3: Tree Retention.....	30
<b>Chapter 7: Sign Design Standards &amp; Guidelines</b> .....	<b>31</b>
Section 1: Standards & Guidelines.....	31
<b>Chapter 8: Circulation Design Standards &amp; Guidelines</b> .....	<b>34</b>
Section 1: Street Design & Street Improvements.....	34
Section 2: Transit .....	35
Section 3: Non-Motorized Circulations .....	35
Section 4: Parking Lot Location & Design .....	37
Section 5: Residential Vehicle Driveways/Access.....	38

# CHAPTER 1: INTRODUCTION

## Section 1: AUTHORITY & PURPOSE

### 1. Authority:

These Design Standards and Guidelines are established under authority of Colorado Revised Statutes (C.R.S) § 31-23-301 (Zoning – Grant of Power.) This State Statute confers police powers to the Town of Elizabeth (the “Town”) to promote and protect the public health, safety, and welfare through a variety of land use planning and regulatory mechanisms, including Design Standards and Guidelines.

### 2. Purpose:

The purpose of the Design Standards and Guidelines is to ensure that development in the Town of Elizabeth reflects the type, quality, and character desired by the community, as outlined within the Town’s Master Plan.

Development includes:

- Residential (single-family and multi-family);
- Non-residential (commercial, industrial, public, institutional);
- All accessory or supporting uses to residential and non-residential uses including but not limited to streets/transportation improvements, drives/parking lots, signage, park & open space improvements, landscape features, utility construction, and public works.

Users of this document are encouraged to review the Town’s Master Plan and related documents.

Under the overall purpose, the Design Standards and Guidelines have additional and specific purposes to:

- a. Highlight the important natural and cultural context, including rural-setting and small-town character of Elizabeth and its environs, and enhance appreciation of, and promote development complementary to that context.
- b. Steward the natural and cultural resource heritage, including historic, visual and aesthetic qualities, which the Town of Elizabeth and its proximate environment are endowed with.
- c. Provide guidance to urban design decisions that will promote development of high environmental, visual, and aesthetic quality throughout the Town, and avoid non-compatible, discordant, unsightly, and poor quality design.
- d. Ensure that design matters are considered comprehensively, and not in isolation.
- e. Supplement and/or complement other Town of Elizabeth land use regulations, including but not limited to Elizabeth Municipal Code (EMC) Chapter 16, Land Use & Development, and EMC Chapter 18, Building Regulations with design-oriented standards.
- f. Encourage innovative and exemplary urban design and neo-traditional design and development appropriate to the Elizabeth context.

- g. Foster pro-active and cooperative relationships among Town officials, the private sector, and interested citizens.
- h. Use urban design as an important mechanism to achieve worthy environmental, economic, and social opportunities.
- i. Make Elizabeth a more pedestrian-, bicycle-, equestrian-, and transit-friendly community with associated benefits while recognizing the role of the automobile for transportation needs.
- j. Stimulate desirable economic development through quality design.
- k. Establish specific criteria for all affected and interested parties for evaluating compatibility and promoting certainty in review of development in the Town.
- l. Ensure that development is made compatible with existing neighborhoods and areas, as appropriate to the aim of good urban design throughout the Town.
- m. Facilitate the understanding of design terminology and key aspects of design by all affected and interested parties.
- n. Foster civic pride and community spirit by reason of the Town's favorable natural and cultural environment and thus promote and protect public health, safety, and welfare.

<p><b><u>Section 2:</u></b>  <b>USERS &amp; IMPLEMENTATION</b></p>
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**1. Users:**

The Design Standards and Guidelines will be used by the following parties:

- a. Property Owners/Developers: Acquaint property owners and developers with concerns that the community has identified about the built and natural environment.
- b. Building Designers: Assist architects, landscape architects, and other designers of buildings and sites to know what is expected of their products.
- c. Town Officials: Assist in reviewing development projects. Town staff, as well as elected and appointed officials, will rely on the Design Standards and Guidelines to help define design conditions required for project approval.

**2. Implementation:**

The Design Standards and Guidelines will be implemented through public-sector, private-sector, and public-private partnership initiatives.

- a. Public Sector Development: Public works projects and capital improvements which are developed and built by the Town can provide the catalyst for improved design quality and tie areas of the Town together.
- b. Private Sector Development: Developers will use the Design Standards and Guidelines to shape their projects to be consistent with the Master Plan.
- c. Public-Private Partnership: Development of projects that may have public and private financing or share mutual elements will also implement desired design qualities.

### **Section 3:**

## **APPLICABILITY, EXEMPTIONS, WAIVERS, RELATION TO OTHER CODES & EFFECT:**

### **1. Applicability:**

Compliance with Design Standards and Guidelines is checked at both the conceptual land use approval stage and the building-permit stage. Applicants are encouraged to consult with Town staff at a pre-application meeting or earlier to determine applicability and exemptions.

The Design Standards and Guidelines apply to the following projects, unless exempted under subsection 2 of this section.

- a. All *new* residential, non-residential, and accessory construction that requires a building or related permit under Town adopted codes.
- b. Exterior-only non-residential improvements that require a building permit where such improvements equal or exceed 25 percent of the then current Elbert County Assessor's Office "Improvement Actual Value" (IAV) of a building or structure.
- c. All signs that require a permit under EMC Chapter 16, Article XII, Sign Regulations.
- d. Land use approvals that precede issuance of building permits.
- e. Where a clearing/grading permit or approval is required.

### **2. Exemptions:**

- a. All development that does not require a building or related construction permit under Town adopted codes.
- b. Construction of one single-family residence on a lot legally platted at the time of adoption of these standards, provided the garage setback requirement in Chapter 4, Section (3) (2)(f)(iii) shall apply and compliance with Standards is encouraged.
- c. Interior-only improvements.
- d. Exterior improvements that are 'in-kind' maintenance and/or repair only.
- e. Temporary Structures as regulated by EMC 16-1-165.

### **3. Waivers:**

Waivers from these Design Standards and Guidelines may be granted pursuant to EMC 16-1-200(d).

### **4. Relation to Other Codes:**

These Design Standards and Guidelines supplement and/or complement the Town's zoning code (EMC Chapter 16), Town adopted Building Code (EMC Chapter 18), and other regulations.

Where a direct reference exists herein between the Design Standards and Guidelines and the zoning code or other land use regulations, the reference is noted. If Design Standards and Guidelines conflict with other land use regulations, or where uncertainty exists regarding the interpretation of the Design Standards and Guidelines, respective provisions of EMC 16-1-200 shall apply.

Covenants, Controls & Requirements (CC&Rs) for development projects shall be reviewed by the Town for consistency with these Design Standards and Guidelines. Project-related land use approval and/or construction permits shall not be issued where CC&Rs conflict with these Design Standards and Guidelines.

**5. Effect:**

Projects proposed shall substantially comply with the design standards and guidelines.

Town officials have authority to deny development projects that are not in substantial compliance with the Design Standards and Guidelines.

**Section 4:**  
**PROCEDURAL & SUBMITTAL REQUIREMENTS**

**1. Procedures:**

EMC Chapter 16, Article II, Site Plan Standards & Procedures & EMC Article III, Subdivision Standards & Procedures establish procedures and timelines for typical development projects. To begin the development review process, a pre-application meeting with Town staff is strongly encouraged. At that meeting, applicants are informed of procedural and substantive application requirements, including requirements related to Design Standards and Guidelines. The pre-application meeting is meant to begin the process, but not to review a development proposal. Applications requiring design review are strongly encouraged to take advantage of pre-application meetings and related conceptual site plan review with Town staff and officials.

Substantial compliance with applicable Design Standards and Guidelines is evaluated with the land use approval being sought (i.e Subdivision, Site Plan, Building Permit).

The Town reserves the right to utilize design consultants (e.g. architects, landscape architects, ecologists/biologists, engineers) to review project submittals, with costs chargeable to applicants based on EMC Chapter 16, Article X, Land Use Application Fees.

**2. Appeal Procedures:**

Staff administrative decisions may be appealed to the Planning Commission for a recommendation to and a final decision by the Board of Trustees.

Appeal of subdivision and site plan decisions shall be consistent with the quasi-judicial decision making process.

**3. Submittal Requirements:**

The Town of Elizabeth has a set of complete application requirements for different development project types. Each complete application packet addresses written and graphic information that is required pursuant to project review.

All applicants are responsible to submit complete written, graphic, and material samples to enable Town officials to evaluate compliance with design standards and guidelines. Failure to submit a complete application may result in delays in processing the application.



## CHAPTER 2: CONTEXT DESIGN STANDARDS & GUIDELINES

### Section 1: NATURAL, CULTURAL, & ARCHITECTURAL CONTEXT

#### 1. Intent:

To identify exemplary community and area characteristics that should be understood, valued, and incorporated in an appropriate manner, into Elizabeth development projects. Natural contexts include landforms and features, including but not limited to rolling hillsides, creek corridors, front-range mountain views, and presence of significant vegetation. Cultural contexts include the historic downtown and historic farmsteads and farmlands which respectively typify Elizabeth's small town and rural heritage. Architectural contexts include buildings such as the historic Bank Building, the Carlson Building, and others with appealing design features.



*Carlson Building: Well-defined building base, middle, and top (cornice); high-profile entry with transom window; orientation to street, and complementary awnings, make this a simple but classic western building.*

#### 2. Design Standards and Guidelines.

a. Site development shall recognize and incorporate exemplary natural, cultural, historical and architectural contexts and features where present. A number of techniques may be utilized to achieve this standard (e.g. preservation of site vegetation; retention/incorporation of key open space areas; relative location of structures on sites; retention or incorporation of cultural relics; use of complementary architecture; use of appropriate building materials).



*Running Creek Corridor – as with the Gold Creek corridor, are outstanding local and regional greenbelt opportunities.*

b. Site development shall be buffered from natural features (e.g. creeks, floodplains, steep slopes; see EMC 16-1-150 for creek setback requirements). Natural features shall be incorporated as site amenities, not 'leftover' areas, and appropriate visual and/or physical access to natural features shall be created.



## Section 2:

### **RELATIONSHIP TO ADJACENT & NEARBY PROPERTIES**

#### **1. Intent:**

To consider a harmonious relationship to adjacent properties, including functional and visual compatibility, as well as appropriate transition between sites and/or uses.

#### **2. Design Standards and Guidelines:**

a. Development shall be coordinated with and strive to create continuity and a positive relationship with proximate sites and buildings that have recommended design features. The following context design elements shall be considered in relation to proximate sites and buildings.

##### i. Site Design Elements:

- Building setbacks/building placement relative to one another;
- Building location to streets and public areas;
- Presence and treatment of natural features and open space.

##### ii. Building Design Elements:

- Style and period of architecture;
- Scale and mass of buildings;
- Roof-type/configuration;
- Proportion and location of windows, doorways, and other features;
- Façade proportions and orientation;
- Orientation and treatment of entry(s);
- Building materials, textures, and colors.



##### iii. Landscape Design Elements:

- Width, type and quantity of plant and landscape areas and materials;
- Composition of plant and landscape materials;
- Treatment of existing vegetation.

*The Banner Building – Constructed in 2005. Multiple features make this an appealing structure: Direct orientation to the street; simple rectangular form; steep gable roof; sizable covered front porch; hefty porch columns and beams; use of natural and compatible materials; appealing window treatment; and retention of site vegetation.*

##### iv. Sign Design Elements:

- Type of signs, including illumination;
- Size and location of signs;
- Number of signs;
- Compatibility of signs to building.

v. Circulation Design Elements:

- Street/drive design & circulation;
- Non-Motorized networks (including but not limited to pedestrian, bicycle, & equestrian networks and circulation);
- Vehicular access points;
- Parking location and design.

b. Coordinated and complementary utility facilities shall be made between adjacent sites (See Chapter 3, Section 5 & 6).

**Section 3:**

**RELATIONSHIP TO STREET FRONTAGE**

**1. Intent:**

To establish a well-defined, integrated, and positive relationship between development projects and street frontages is vital to create and retain community character.

**2. Design Standards and Guidelines:**

The Town encourages residential dwellings with street orientation, limited setbacks, and features like porches and entries that relate to the street to promote social interaction, build neighborhood ties, and enhance public safety. Likewise, commercial buildings that relate to the street, with limited setbacks and street-oriented entries, promote human interaction, stimulate business, enliven commercial districts, and encourage walking as a transportation mode; all of which can be achieved by the following:



*Contemporary Craftsman-style home: Positive relationship to street, expansive porch with heavy columns, appealing fenestration, details, and color make for a charming home.*

- a. The front building façade and main entrance to all residential and non-residential buildings shall be oriented toward a public street.
- b. Buildings, including front façades and building entries, shall front a landscape area, pedestrian plaza, courtyard or other permanently open area where area directly abuts a public street.
- c. Street frontage façades shall receive appropriate architectural treatment relative to the type and use of building.
- d. Residential and non-residential buildings shall provide a pedestrian connection from the building to the public/private street (See Chapter 8, Section 3).
- e. Gasoline pumps and/or pump islands between the front building façades and the public/private streets are permitted.

## CHAPTER 3: SITE DESIGN STANDARDS & GUIDELINES

### Section 1: NATURAL FEATURES & CRITICAL AREAS

#### 1. Intent:

To protect significant natural features and critical areas, and to incorporate them as site and area amenities, with passive recreational access as appropriate.

#### 2. Design Standards and Guidelines:

- a. Significant natural features and critical areas, including riparian and floodplain lands, drainage courses, significant trees and tree stands, steep slopes, and view-shed corridors shall be protected, and shall be effectively integrated into site design as natural/open space amenities.
- b. Significant natural features and critical areas shall be linked with those on adjacent and nearby sites, including linkage to open space and recreation areas, as appropriate.
- c. Where existent, natural features and critical areas shall be utilized as internal and external buffers (internal to improvements on a site; external to site borders and adjacent sites).
- d. Natural landforms that are required to be cleared and/or graded, and that are not part of site structural improvements, shall be restored.
- e. Natural landforms should be respected by conforming buildings and other impervious surfaces to existing topography and natural drainage systems.
- f. Passive recreational access and improvements to natural features and critical area should be provided as appropriate.



*Drainage courses and other natural features or critical areas shall be effectively integrated into natural/open space with passive recreational access.*

### Section 2: OPEN SPACE & RECREATION

#### 1. Intent:

To provide open space areas that serve one or more of the following purposes: a) conservation/preservation; b) passive and/or active recreation; c) buffering; and d) other functions as appropriate.

## 2. Design Standards and Guidelines:

- a. Site characteristics shall be inventoried and evaluated, including natural features and critical areas, for their open space and site amenity potential prior to site design.
- b. Buildings and impervious surfaces shall be located to protect and realize open space opportunities presented by site characteristics, including natural features and critical areas.
- c. Within a site, open space shall be organized into a system of integrated and connected spaces. Open space shall be linked to open space on that of adjacent or proximate sites, including public lands and private lands. Linkage to designated public open space and recreation areas, as well as incorporation of, and/or linkages to known open space opportunity areas, is especially important. Features like street sidewalks and planter strips, as well as walkways and paths on and between sites, and in greenbelts, represent critical connectivity elements of the town/area open space system (see Chapter 8, Section 3).



*Outstanding open space and passive recreation opportunities are provided by riparian lands along area creeks (Gold Creek corridor shown).*

- e. Surface stormwater systems shall be designed to complement existing landforms and have a natural-looking appearance as part of an open space system instead of an artificial or 'engineered/manicured' appearance (see Section 7 following.)
- f. Natural features and critical features may be enhanced, and public access and improvements provided, where appropriate, where ecological functions are not adversely impacted, and where appropriate, 'improved' open space should be contiguous with natural features and critical area buffers.
- g. Open space dedications and improvements should be appropriate relative to the type and size of development.

d. Town officials shall coordinate on-site open space dedications and improvements with Town open space, park, recreation facility, or other civic improvements.



*Natural area topography utilized as 'improved' open space with the inclusion of a trail system providing for public access makes for an attractive open space/ amenity stormwater feature.*



- i. All developments, residential and non-residential, should include sidewalks and pathways to link sites and link buildings (see Chapter 8, Section 3 for specific requirements).
- ii. Single-family projects should focus on neighborhood and/or pocket parks with improvements. Parks are often well situated as part of a modified grid street-system but may be located elsewhere.
- iii. Multi-family projects should also focus on neighborhood and/or pocket parks and tot lots with play areas. Special provision for common areas with improved surfaces should be made for MF complexes that lack adequate exterior yard space associated with individual units.
- iv. Greenbelt open space linkages are a critical element for all residential and non-residential developments and should be incorporated as appropriate. Greenbelts may take different forms; from dedication of riparian lands along creek corridors, to development of sidewalk systems with planter strips and street trees.



*A well maintained park is a focal point and 'square' for surrounding single-family, multi-family and commercial neighborhood uses.*

**Section 3:  
PEDESTRIAN PLAZAS**

**1. Intent:**

To provide pedestrian plazas, courtyards, or commons (all referred to here as plazas), with improvements for passive activities.

**2. Design Standards and Guidelines:**

- a. Pedestrian plazas shall be provided at key locations, as appropriate to the use and size of non-residential and multi-family residential developments.
- b. Plazas shall have pedestrian connections to associated buildings, to sidewalks and, where appropriate, to adjacent sites.
- c. Plazas shall include the following pedestrian-oriented amenities, as appropriate to site use:
  - i. Hardened surfaces with enhanced treatment including stamped concrete, cobblestone, etc.;



*A variety of specialized paving materials should be utilized in plaza areas for visual interest and area-definition.*

- ii. Pedestrian-scale lighting for area use and for security;

- iii. Landscaping, including trees, shrubs, & groundcover, for amenity and shade;
- iv. Trash receptacles;
- v. Benches and/or other seating.

\*\*\*Optional plaza features might include outdoor sculpture, water features or kiosks.

- d. Seating shall be located for good solar exposure, view opportunities, and proximity to activity centers such as building entries or walkway intersections where appropriate. Seating opportunities for individuals and small groups shall be available.
- e. Pedestrian plazas shall not be located adjacent to unscreened parking lots, to adjacent ‘blank’ wall building areas or to other undesirable locations (e.g. high-speed roadways; outdoor service areas).
- f. Pedestrian plazas and associated amenities on building sites shall be coordinated in terms of location, connectivity, materials, landscaping, and design, with those on adjacent or nearby sites.

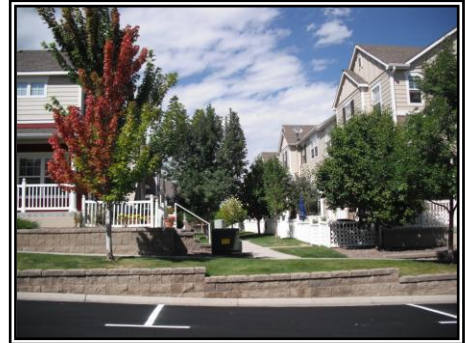
**Section 4:**  
**SITE DESIGN FOR SAFETY**

**1. Intent:**

To ensure that site design encourages personal safety.

**2. Design Standards and Guidelines:**

- a. Site design should enable a pedestrian passerby to see the public spaces and activities occurring on a site.
- b. Site design should avoid creating potential entrapment areas.
- c. Buildings should be arranged on the site to have visual access and/or overlook of pedestrian routes, plazas, and parking areas to allow for informal surveillance of those areas.



*The walkway is placed between buildings for visibility.*

**Section 5:**  
**SITE LIGHTING**

**1. Intent:**

To encourage dark night skies that are consistent with Elizabeth’s small town and rural character and to use lighting in conjunction with other security methods to increase site safety.

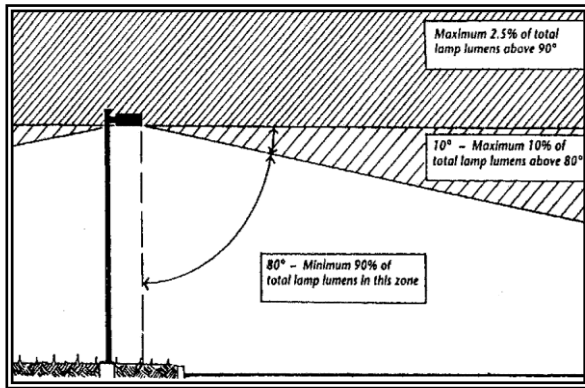
**2. Design Standards and Guidelines:**

- a. Specific lighting regulations are adopted in EMC 16-2-60.
- b. Adequate lighting shall be provided in night time use areas.
- c. Site lighting shall not be excessive and shall offer preferred color rendition.



*The use of down-shielded fixtures is to prevent light glare and light trespass.*

d. Pedestrian-scale lighting association shall be emphasized in all developments.



*'Cut-off' fixtures help prevent undue light trespass. Cut-off can be achieved by a number of mechanisms, including limit on pole height, reflectors, and recessed lighting. (Degrees indicated are for illustration only.)*

e. Pole heights above 16 feet in non-residential districts and above 12 feet in residential districts are prohibited.

f. The type, materials, and location of light fixtures (including poles) shall be selected and coordinated relative to the facility and/or area being served.

g. Light glare and light trespass shall be minimized through use of down-shielded fixtures and other appropriate mechanisms.

h. Security lighting, including motion detector lights, shall not create a nuisance to adjoining properties.

## **Section 6:** **UTILITIES & SERVICE AREAS**

### **1. Intent:**

To reduce the visual, noise, and physical impacts of utilities, service areas, mechanical equipment, trash and recycling containers, and other fixtures while maintaining accessibility for service providers and users.

### **2. Design Standards and Guidelines:**

a. Service areas and fixtures shall be conveniently located relative to overall building function.

b. Service areas, outdoor storage areas, mechanical equipment, waste receptacles and similar fixtures shall be located or screened as to minimize impacts on the site, street environment, and adjacent properties.

c. Screening shall be accomplished with materials consistent with the primary site building materials and colors. As needed, screening shall incorporate appropriate landscaping that is integrated with overall site landscaping.



*Screening required: Service area and mechanical equipment located at rear of building is preferred.*



- d. Rooftop mechanical equipment shall be screened from view so as not to be visible from property line, five (5) feet above ground level.
- e. Utilities shall be located underground and otherwise sited to have the lowest possible visual impact (EMC 13-1-20). Where visual impacts are present, utilities shall be screened or camouflaged using preferred methods.
- f. Clustered mailbox receptacles, where utilized should be located in a reserved tract appropriately located and designed.



*Rooftop mechanical equipment screened with compatible material.*

**Section 7:**  
**STORMWATER FACILITIES**

**1. Intent:**

To retain and utilize natural site drainage features to the greatest extent **reasonably** possible and to create stormwater facilities which have a natural appearance, are visually attractive, and integrated as site amenities.

**2. Design Standards and Guidelines:**

- a. Natural site drainage features shall be utilized to the greatest extent possible to manage stormwater runoff.
- b. Where required to supplement natural drainage features, detention and/or retention ponds, as well as swales and other drainage improvements, shall incorporate natural design and indigenous landscaping to realize **those** features as site amenities and positive landscape improvements vs. artificial engineered improvements.
- c. Appropriate tree, shrub, hedges and grass species suitable to drainage feature conditions shall be planted in and around drainage facilities as part of a site landscape plan.
- d. Operation and maintenance of drainage facilities shall not be unduly hindered by landscape plantings.



*Supplementing natural drainage areas with appropriate trees, shrubs, and grass makes an attractive stormwater feature and as part of a site landscape plan.*

## CHAPTER 4: BUILDING DESIGN STANDARDS & GUIDELINES - RESIDENTIAL

Residential design standards and guidelines include differing applicability criteria. Applicants must review the following sections, and/or consult with staff, to determine project applicability. Applicants shall not subdivide parcels on a piecemeal basis to circumvent standards.

### Section 1: LOT VARIATION

#### 1. Intent:

To minimize streetscape monotony and provide visual interest through appropriate design.

#### 2. Design Standards and Guidelines:

##### a. Lot Widths:

- i. For the purpose of these design standards and guidelines, lot widths shall be measured from (1/3) one-third of the length of one side line from front property line to the midpoint of the front 1/3 of the length of the opposite sideline from front property line.
- ii. Not more than three adjacent newly platted lots shall have the same width.
- iii. Required variations in lot width shall be not less than five (5) feet.

##### b. Variations in the placement of buildings on lots shall be utilized.

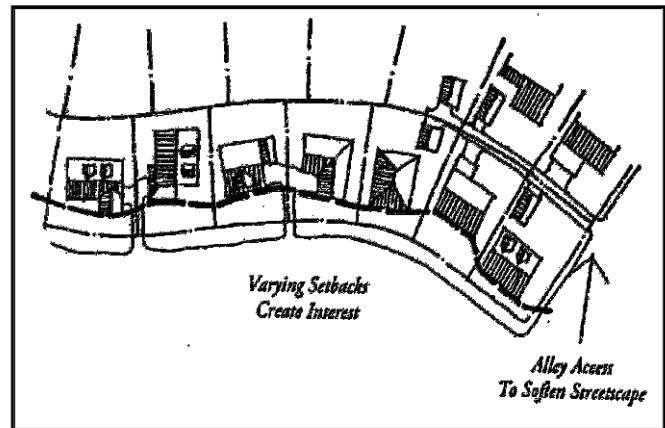
##### c. Not more than 60% of front yard setbacks on the same side of a street within a block shall be substantially the same. Refer to Zoning Code Section 16-1-50 thru 16-1-145 for minimum setback requirements.

- i. Front setback distance shall be measured at the point where the front of property line and any part of a building (including a porch) are closest together.

- ii. If a lot is bound by more than one street, front yard setback shall be measured relative to only one street frontage.

##### d. Not more than three adjacent buildings shall be located at substantially the same front setback distance.

##### e. Required variations in front yard setbacks shall be in distances of not less than five (5) feet.



*Variation in lot setbacks creates design interest. Alley access is a critical opportunity to create highest appeal streetscapes and neighborhoods.*

- f. Building location on a lot, including subtle variations in front-yard and side yard setbacks, should be utilized to reduce building mass and bulk for SF and MF buildings, especially on larger development projects (see also Section 4 following.)

**Section 2:**  
**BUILDING MASS & SCALE**

**1. Intent:**

To ensure that residential building mass is human in scale and appropriate to Elizabeth’s small town feel; maximizing visual interest and minimizing visual monotony.

**2. Design Standards and Guidelines:**

- a. Modulation of primary façades and façades in public view shall be used to reduce building mass and scale for SF and MF buildings. Un-modulated primary and publicly viewable façades shall not extend more than 30-feet in length. Modulation shall be sufficient to break up wall planes.
- b. Roofline modulation shall also be utilized, and can be accomplished with multi-gabled roofs, stepped roofs, or otherwise, and is often done in conjunction with façade modulation.

**Section 3:**  
**ARCHITECTURAL STYLE & RELATED MATTERS**

**1. Intent:**

- a. To encourage residential building designs that represent authentic and/or vernacular architectural styles, yet offers appropriate variation (within a style and between styles), including variation in size/footprint; number of stories; elevations/ appearance; and details/features, within neighborhoods and between neighborhoods throughout the community.
- b. To avoid repetitive, monotonous, and cloned single-family, and multi-family architecture.
- c. To create compact, pedestrian-oriented, human-scaled, and appealing neighborhoods.

**2. Design Standards and Guidelines:**

a. General:

Single-Family [SF]: applies to all SF developments of two or more lots, platted after adoption of the Design Standards and Guidelines; and Multi-Family [MF]: applies to all MF buildings.

- i. Architectural styles indigenous and/or appropriate to Colorado are encouraged. Indigenous styles to Colorado include, but are not limited to, ‘Craftsman’ known for its use of natural materials and craftsman quality features; ‘Cottage/Farmhouse’; ‘Southwest’; ‘Ranch’; ‘Victorian’; and ‘Prairie/4-Square’.



*Contemporary Craftsman-style home - Note: expansive porch; street orientation; customized door; window treatment; and dormer.*

- ii. Townhouse design for MF dwellings is encouraged.
- b. Manufactured Homes:
  - i. Minimum dimensions should be 24-foot width by 36-foot length.
  - ii. Pitched roofs at not less than 6:12 are recommended (six units rise to 12 units run).
  - iii. Wood, composition siding or masonry veneers are preferred.
- c. Variation:
  - i. Single-family [SF] dwellings and MF buildings shall vary, by providing a range of compatible styles within neighborhoods and among neighborhoods throughout the community.
  - ii. Differing elevations; sizes/footprints; number of stories; entry treatments; roof configurations; window design; use of color; and other features shall be utilized to achieve variety.
  - iii. Single-family [SF] homes using identical or near-identical elevation plan detail shall be separated by a minimum of three SF homes with different elevations and details. Identical or near identical elevations shall not be located directly or diagonally across the street from one another;
- d. Porches:



- i. A minimum of 70-percent of principal dwellings in new SF subdivisions shall include a covered entry porch, covered stoop, or other similar feature integrated with the design of a home (stoops may not constitute more than 15-percent of the 70-percent requirement). Minimum dimensions of six (6) feet deep and twelve (12) feet wide [porch] and five (5) feet by five (5) feet [stoop]. Porches may wrap around front corners to the side of buildings, and should vary in size and type.
- ii. All MF units with individual street-oriented entries shall provide a covered front entry porch or

stoop. Minimum dimensions of five (5) feet depth by eight (8) feet width [porch] and four (4) feet by four (4) feet [stoop]. Recessed porches are acceptable.

- iii. A MF building with a common entry shall have a larger porch or other defined entry appropriate to the size of the building.



*Porches or stoops shall be utilized in 70% of the development. Covered stoop represents alternative, especially suitable to MF contexts.*



e. Multi-Family [MF] Yard Space/MF Balconies.

- i. A portion of each individual MF rear yard space shall be improved, with a patio or deck.
- ii. Ground floor MF units that do not front a street shall include useably sized patio/hardscape areas in rear yard areas. Where Townhouse-style designs are not utilized and individual exterior yard space is not available, upper floor balconies of usable area (minimum five [5] feet depth by eight [8] feet width) shall be provided for each unit.
- iii. Balconies should generally be at rear-building elevations and located to afford maximum privacy.

f. Garages & Carports:

- i. Alley access is encouraged for SF and MF residential dwellings.
- ii. Where alley access is utilized, garages shall be located at the rear (i.e. rear yard) of SF and MF dwellings.



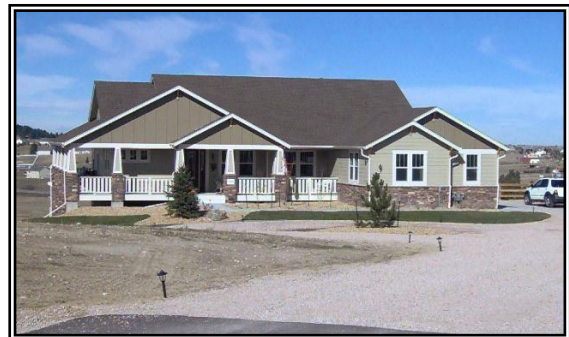
*Rear-yard, alley-access garages: Alleys and rear garages offer multiple benefits.*

- iii. Where alley access and rear yard (i.e. rear-entry) garages are not utilized, techniques shall be utilized to minimize the profile of SF garages, including but not limited to:

- (1) Setting the garage a minimum of five (5) feet back (recessed) from the main front building façade of SF homes (required for all front-loaded garages);
- (2) Utilization of side-loaded garages (located either at the end of a home or behind the home);

- (3) In both instances (1 & 2) above, additional techniques shall be utilized to minimize the look of the garage, including, for example:

- iv. Front loaded garages are limited to not more than one (1) double wide door or two (2) single wide doors;
- v. Architectural integration of the garage area as having living space above it (whether or not it does);
- vi. Architectural details, including use of custom doors (e.g. carriage style) and customized window treatment.



*Side-loaded garage with window treatment & stone accent presents nice street appeal.*

- vii. Multi-family [MF]: End garages (attached or detached) are permitted only with duplexes.

- viii. Side yard parking for all MF structures, whether in a garage or in surface-lot parking including access drives, shall not exceed 35-percent of overall front lot width. Otherwise, garages and parking in MF buildings shall be either off alleys/rear drives or in rear yard locations.
  - ix. Where separated from principal buildings, detached garages shall be located and landscaped or otherwise shielded as appropriate to minimize visual impacts of garage areas from streets or other public locations.
  - x. All garage buildings shall be compatible with design of the main building.
  - xi. Carports are strongly discouraged.
  - xii. Parking areas at the rear of MF buildings shall include landscape screens to buffer parking areas from the rear of MF units.
- g. Roof Types:
- i. Gable roofs are encouraged, and roof pitch should be a minimum of 6:12 (six units rise to 12 units run). Stepped and/or opposing gables and use of dormers, sheds, and other details are encouraged.
  - ii. Shallow-pitch gable roofs, mansard, flat, A-frame, and other irregular roof forms are discouraged unless integral to a generally recognized architectural style.

h. Windows/Fenestration:

- i. Window design and window placement shall provide interest and individuality among SF and MF building façades, especially street-facing façades and those otherwise in public view. Consistent style should be utilized, and if varied, window types shall complement one another. Window panes, typically in upper sashes, can be separated with muntins and/or mullions to break up glass areas and provide design interest. Smaller ‘barn’ style windows, ‘eyelash’-type windows, gable-end windows, side-light windows, or otherwise should be utilized to enhance architectural elevations. All street facing or street visible windows shall be trimmed unless not authentic to building style.



*Window design and placement is consistent throughout. Shutters compliment the design and add character to the building. Nice contrasts of colors are utilized.*

- ii. Shutters are recommended only when authentic to building style.
- i. Building materials & color:
- i. Utilizing natural or naturally-appearing building materials that are consistent with authentic architectural styles; encourage high-quality, architectural grade materials.
  - ii. Encourage use of color to highlight and emphasize features, and to discourage color monotony.

- iii. A combination of siding materials and embellishments shall be used to provide textural variety and visual interest to façades.
- iv. Use of a variety of quality roofing materials, patterns, and colors is encouraged. Where asphalt shingles are used, they shall be architectural grade.
- v. A varied, yet complementary, range of exterior residential building colors is required. Use of a main color with one or two accent colors is encouraged to highlight home features.

**Section 4:**  
**RELATED RESIDENTIAL USES**

**1. Intent:**

To ensure that related residential uses are consistent with the character of residential neighborhoods.

**2. Design Standards and Guidelines:**

- a. In residential zoning districts the exterior design of building(s), in which non-residential uses are permitted, should strive to represent a residential appearance.
- b. Parking beyond that required for the principal tenants shall be concealed to the greatest extent reasonably possible, preferably in side yard and/or rear yard locations, and using landscaping as appropriate to mitigate visual impacts of parking areas.
- c. Accessory Dwellings and/or Structures shall be consistent with the architectural style, materials, and color of principal building.
- d. Individual or common mechanical or other equipment shall be located and visually screened so as not to have adverse visual impacts.

**Section 5:**  
**HISTORIC BUILDINGS**

**1. Intent:**

To recognize historic residential buildings as significant community assets and to promote their preservation and/or restoration.

**2. Design Standards and Guidelines:**


Applies, at minimum, to all buildings that have been designated as historically significant by the Board of Trustees or other empowered entity.

- a. Restoration projects shall preserve the distinctive architectural character and material qualities of the building.
- b. Additions to historic buildings shall be limited, and located as inconspicuously as possible. Where made, additions shall be compatible with the original architectural style and features of the building.



*This early 1900's house was and remains a single-family residence.*



- c. Infill development proximate to historic buildings should be compatible with the scale, architectural qualities, and traditional uses of such buildings.
  - d. Historic societies or related organizations should be consulted for technical assistance related to historic buildings/structures and development adjacent or proximate to historic buildings or districts.
  - e. The Secretary of the Interior's Standards for the Treatment of Historic Properties may be utilized for guiding the preservation and/or restoration of historic buildings.
- 

# CHAPTER 5: BUILDING DESIGN STANDARDS & GUIDELINES NON-RESIDENTIAL

## Section 1: BUILDING MASS & SCALE

### 1. Intent:

To encourage building mass and scale consistent with the site and small town character of Elizabeth.

### 2. Design Standards and Guidelines:

a. Buildings shall utilize a variety of techniques including, but not limited to the following:

- i. Grouping of smaller buildings;
- ii. Building composition (i.e. smaller buildings attached to large buildings);
- iii. Building articulation:
  - 1) Exterior walls over 36 feet in length shall feature changes in surface plane at no less than 36 foot intervals. Extrusions or recessions shall have a minimum of two (2) foot change in surface plane, but may need to be larger depending on mass and scale of building;
  - 2) Recessed or projecting entries;
  - 3) Corner-treatments;
  - 4) Dormers, as appropriate to architecture;
  - 5) Porches or balconies;
  - 6) Awnings, canopies, & marquees;
  - 7) Use of various building materials and/or colors in combination with façade articulation;
  - 8) Patterned treatment of building materials;
  - 9) Fenestration;
  - 10) Well-defined cornices and other ornamentation;
  - 11) Different roof forms and intersections, including multiple gables, shed roofs, and stepped roofs.



*Multiple dormers, awnings, patterned treatment of building materials, and details to the building are ways of attaching features to reduce mass and bulk to a large building.*

## Section 2:

### **ARCHITECTURAL STYLE & RELATED MATTERS**

#### **1. Intent:**

To promote appealing ‘four-sided’ architectural design appropriate to, and compatible with Elizabeth and area environs thereby providing long-term assets to the community.

#### **2. Design Standards and Guidelines:**



*This new [~1990] building successfully complements an immediately proximate ~1890 building by use of multiple treatments: Street-orientation; use of kick-plates and extensive first floor windows; second-floor complementary windows w/sill and lintel features; arched/highlighted entry; use of brick; and parapet roof with inscription.*

- a. All building sides shall receive architectural treatment to achieve appropriate ‘four-sided’ architecture.
- b. Buildings shall be compatible and/or complementary to existing adjacent and proximate buildings.
- c. In the downtown area, commercial buildings should incorporate traditional features.
- d. In larger retail commercial zones, architectural design shall demonstrate a strong unifying concept, clear organization, and consistent architectural character or style.
- e. The architectural form, composition, scale, elements, and details of a building shall be organized to present a well-conceived and integrated architectural concept.
- f. Building forms shall be readily understood and devoid of confusing, cluttered or unnecessarily complex arrangement of shapes. Odd and/or irregular building shapes shall be avoided, other than when influenced by an existing odd or irregularly shaped lot.

## Section 3:

### **FAÇADE TREATMENT & BUILDING ELEMENTS**

#### **1. Intent:**

To assure that all public faces (whether front side or rear) of non-residential buildings be given careful design consideration.

#### **A. Primary & Secondary Façades:**

#### **2. Design Standards and Guidelines:**

- a. The primary [front] building façade and main entry of non-residential buildings shall be oriented toward a public street or other appropriate frontage; campus configuration of multiple buildings may be individually oriented toward one another, but nevertheless physically and visually oriented as a whole toward a public street.

- b. All façades shall receive appropriate architectural treatment.
- c. Building trim lighting (e.g. neon and/or fluorescent tubes) is prohibited along gable-ends, eaves, soffits, etc., unless lighting is an integral detail to a historic building.

**B. Building Entries:**

**1. Intent:**

To highlight and provide special architectural emphasis and treatment to primary building entries.

**2. Design Standards and Guidelines:**

a. Primary entries, with limited exceptions, are required to front a public street and shall be visually prominent and receive architectural emphasis. A variety of techniques to accomplish this standard include:

- i. Recessed/Projecting entries;
- ii. Elevated or lowered entries with stairways and ramps;
- iii. Entry-related cover and/or roofline articulation;
- iv. Arched entries;
- v. Use of awnings, canopies, marquees;
- vi. Architectural grade or custom-made doors and/or molding;
- vii. Decorative lintels and/or molding above doorways;
- viii. Entry lighting;
- ix. Landscape treatment and emphasis;
- x. Pedestrian surface treatment (e.g. pavers or tiles);
- xi. Entry courtyard;
- xii. Transom and/or sidelight windows;
- xiii. Signage;
- xiv. Complementary upper story treatments (e.g. balcony);
- xv. Other techniques as appropriate.



*Use of heavy timbers to define entries, both small-scale and large-scale, is common throughout Colorado. Timbers and split-faced/colored concrete blocks complement one another. Covered entry feature adds interest and weather protection.*

- b. Entries shall be protected from weather and shall be appropriately lighted for safety.
- c. Secondary entries shall also receive appropriate architectural emphasis.

**C. Pedestrian Cover:**

**1. Intent:**

To encourage utilization of complementary protective design elements to enhance pedestrian traffic.

**2. Design Standards and Guidelines:**

- a. Roof overhangs may be utilized for pedestrian cover if appropriate to the building type and height.
- b. The design, materials, and color shall complement, not obscure or detract from, the architecture and features of associated buildings.
- c. Awnings, canopies, or marquees should be carefully coordinated between buildings.
- d. Awnings or canopies should be between eight (8) and 10 feet in base height, and in correct proportion to the building façade.

**D. Windows/Fenestration:**

**1. Intent:**

To establish well-proportioned relationships between the walls and windows of a building.

**2. Design Standards and Guidelines:**

- a. Building façades shall have a balanced proportion of windows to walls.
- b. Variation in window design and placement shall be utilized to provide interest and individuality among building façades, especially street façades and those otherwise in public use.



*A balance of windows along with coordinated canopies makes for a well-balanced look.*



*Choice of window type and window treatment can make or break a building.*

- c. Windows should be included on second floor levels of street facing façades applicable to façade type and building height.
- d. Windows should be divided with frames, muntins and/or mullions, or otherwise to provide design interest and break up expansive glass areas.
- e. Window trim is strongly encouraged. Trim shall be sufficient in width, relative to window size, and appropriate to building design.
- f. Shutters are strongly discouraged unless authentic to a building/architectural style.
- g. Mirrored glass is prohibited.



## E. ROOF

### 1. **Intent:**

To promote roof configurations that complement building form and composition.

### 2. **Design Standards and Guidelines:**

- a. Rooflines shall be compatible with adjacent and proximate buildings.
- b. Where flat roof design is used, decorative parapets, false fronts, well-defined cornices, and other treatments shall be utilized to conceal such rooflines.
- c. Shed, eyebrow, gable, or other appropriate roof forms should be utilized to reduce building mass and create architectural interest on façades.
- d. Roof lighting is prohibited.

## F. **Corner Buildings:**

### 1. **Intent:**

To encourage architectural treatment of building corners, especially at high visibility street corner locations.

### 2. **Design Guidelines:**

- a. Building corners at high visibility street intersections should receive special architectural treatment. A variety of techniques can be utilized to highlight building corners, for example: Incorporation of building entries at corner locations; Use of beveling on building corners; Inclusion of pedestrian plazas; Use of building shapes that match street geometry.



*This proposed rendering of the Gesin's Building corner treatment successfully ties building shapes that match street elements together. Appealing profile is made of the corner, complete with pedestrian courtyard area and clock tower feature and associated convenience to other retail facilities.*

## G. EXTERIOR BUILDING MATERIALS

### 1. **Intent:**

To encourage use of natural and/or natural-appearing materials that complements the architectural style and features of a building and its environment.

### 2. **Design Standards and Guidelines:**

- a. Materials should be natural or naturally-appearing, and architectural grade in quality.
- b. Materials and textures should highlight, complement, and coordinate building elements.
- c. Varying combinations of compatible materials, textures, and colors are encouraged.

d. Potential for glare from any shiny surfaces shall be minimized; matte finish may be beneficial.

e. Wood siding should be ‘tight-knot’ or clear-grade, and milled from lumber with natural resistance to decay and weathering.

f. Composite or laminated wood products are encouraged.

g. Trim-work should be tight-knot or clear-grade milled lumber or paintable-grade composite material.

h. Where used on visible façades materials shall be architectural grade.

i. Materials shall be texture and color coordinated with other building and site materials.

j. Decorative masonry patterns are encouraged.

k. Metal Buildings shall be discouraged.

l. Metal buildings shall have compatible materials appropriate to the architecture and design. Should be limited to accent or trim elements.

m. Cut-stone and faux-stone veneer can provide an attractive building accent or detail.

n. Prohibited exterior materials include, but are not limited to:

- Excessively tinted glass;
- Rippled glass;
- T-111 or other striated plywood, unless utilized for limited accents;
- Plywood and Particle Board;
- Corrugated fiberglass (walls and roofs, including porch roofs and/or overhangs);
- Crushed colored rock;
- Crushed tumbled glass; and
- Nondurable materials.



*This proposed rendering of the Gesin Building site shows a combination of materials such as wood, masonry, and textures and colors that show a building that will coordinate well with the other Main Street buildings.*



## H. EXTERIOR BUILDING COLORS

### 1. **Intent:**

To promote the compatibility and coordination of buildings within a development and/or with neighboring buildings.

- a. Building color, in combination with materials, should highlight and coordinate building elements and materials.
- b. Use of complementary body and trim colors is preferred.
- c. Compatibility with neighboring buildings should be considered.
- d. Flat paint should be utilized. Semi-gloss should be reserved for minor trim elements. Gloss paint should be avoided.
- e. Excessively bright, garish, and fluorescent colors shall be avoided.
- f. Owners of historic properties are encouraged to utilize a color scheme compatible with the historic character of the building.

### **Section 4:**

## HISTORIC BUILDINGS

### 1. **Intent:**

To recognize historic non-residential buildings as significant community assets and promote the preservation and/or restoration.

### 2. **Design Standards and Guidelines:**

- a. Rehabilitation and restoration projects shall preserve the distinctive architectural character and material qualities of the building.
- b. Historic societies or related resources should be consulted for technical assistance related to historic structures and development adjacent or near to historic buildings or districts.
- c. Additions to historic buildings shall be limited, and located as inconspicuously as possible. Where made, additions shall be compatible with the original architectural style and features of the building.
- d. Infill development proximate to historic buildings shall be compatible with the scale, architectural qualities, and traditional uses of historic buildings.



*As evidenced in the above pictures, the restoration of this building successfully shows retention of the architectural character and preservation of material qualities.*

- e. The Secretary of the Interior's Standards for the Treatment of Historic Properties (1995) may be additionally utilized for guiding the preservation, rehabilitation and restoration of historic buildings.



# CHAPTER 6: LANDSCAPE DESIGN STANDARDS & GUIDELINES

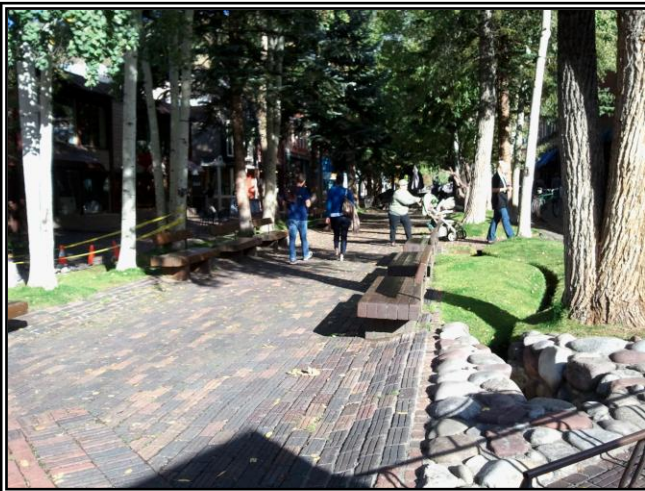
## Section 1: PLANTING

### 1. Intent:

To encourage planting design that is based on a well-defined concept which complements building architecture and site features, as well as the visual appearance of the area and to include a composition of plant materials that creates an appropriate visual character such as stylized, formal, informal, or natural.

### 2. Design Standards and Guidelines:

- a. Promotion of Environmental Functions: Planting areas shall strive to accomplish the following functions: conserve water (xeriscape); reduce erosion; control stormwater runoff; encourage soil infiltration; maintain or improve air quality; reduce noise; provide wildlife habitat; maintain solar access; conserve energy; reduce heat, glare and reflection; restore areas disturbed by construction; including wind reduction; and protection and enhancement of natural features and critical areas.
- b. Retention and Enhancement of Existing Vegetation: Site development shall preserve as much desirable vegetation as possible, with preference given to plant groupings.
- c. Usable Open Space: Open space areas and improvements shall be incorporated into landscape areas on site for active and/or passive recreational purposes as appropriate.

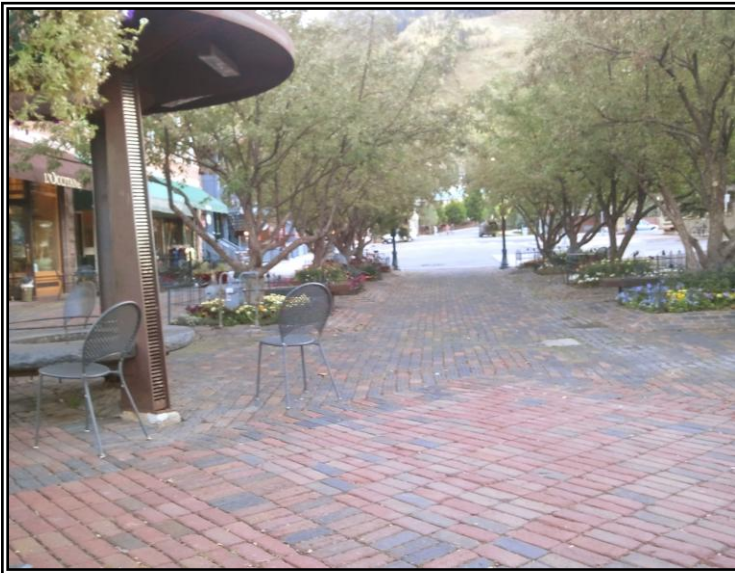


*Landscaped open space strip provides transition and definition area between structures in a larger commercial area. Brick pavers and pedestrian seating complement open space buffer.*

- d. Buffers/Screening: Landscape areas should provide separation between adjacent land uses and serve as visual, noise, and light buffers. Additionally, landscape areas shall provide a visual or physical barrier to soften, partially conceal, or totally block unsightly elements such as blank walls, parking areas, mechanical equipment, and outdoor service and storage areas.
- e. Transition: Landscape areas should effectively accommodate transition areas within a site and between adjacent sites, as well as from retained natural site features or critical areas. Planting around buildings should be designed to

create an effective transition from public to private space (e.g. from an entry sidewalk to private ground.)

- f. Definition & Emphasis: Landscape areas shall be utilized to highlight significant site features and define site use areas and circulation corridors without interfering with the use of such areas. Examples include site and building entrances, pedestrian walkways, and focal points, such as plazas.
- g. Safety: Landscaped areas shall not unduly or adversely impact public sight.
- h. Unity: Plants shall be arranged in an orderly composition, creating a unified and balanced design which is the sum of the parts, thereby, visually providing a sense of order, balance and harmony.
- i. Variety: A diversity of plants providing interest, color, form, accent, and contrast shall be selected. Also, varied landscape elements such as rockeries, trellises, pergolas, planter boxes, bench walls, and textured pathways for highlight and variety shall be utilized as appropriate. The design shall include a suitable combination of trees, shrubs, groundcover, vines, and herbaceous material, including native and Colorado front-range adapted plants.



*The tree and plant combination show suitable and fitting conformity to the open walkway design.*

- j. Consistency: Planting design shall be compatible with and conform to the overall project design concept and to preferred landscaping on adjoining properties.
- k. Appropriateness: The planting design concept shall be suitable, proper, and fitting with the architectural character, land use and environment. Plants should be selected based on an awareness of their growth requirements, tolerances, ultimate size, preference for soil, and climate and negative impacts.

- l. Density: Plant quantity, size and spacing shall be adequate to fulfill the functional and design objectives within the growth time parameters.
- m. Plant Selection: Plant materials shall be selected and installed according to recommended industry standards to assure optimum plant health and growing conditions. Drought resistant, xeric, native or adapted trees and plants shall be utilized as appropriate.
- n. Specific planting, maintenance and irrigation requirements are outlined in EMC 16-2-50.



**Section 2:**  
**PARKING LOT LANDSCAPING**

**1. Intent:**

To improve the aesthetic appearance of parking lots, including provision of perimeter and internal landscaping and to reduce summertime heat and glare.

**2. Design Standards & Guidelines:**

- a. Landscape areas shall be provided within parking lots, as well as around the perimeter of parking lots to screen vehicles and for other purposes.
- b. Specific parking lot landscape requirements are outlined in EMC 16-2-50.



*The inclusion of sizable deciduous shade trees, shrubs, and groundcover are especially appealing. Landscape islands are integrally linked not undersized, isolated pieces.*

**Section 3:**  
**TREE RETENTION**

**1. Intent:**

To preserve and enhance the character, ecological, and environmental functions that existing trees provide to the community.



*Example: Preservation of a significant cluster of Ponderosa Pines in Casey Jones Park. The pines within this park, and found proximate to Elizabeth are remnants of the Black Forest, and represent a vital local/regional asset.*

**2. Design Standards and Guidelines:**

- a. Significant trees shall be protected for their ecological, economic, and social values to the greatest extent reasonably possible.
- b. Protection standards shall be per arboriculture standards, for example, no earth movement within a drip zone, or a one-foot radius zone for every one inch of tree-diameter.
- c. Where existing healthy trees must be removed due to site constraints, poor tree health, or otherwise; suitable new trees shall be replanted.
- d. Where existing trees are in poor health, trees should be removed and a suitable new tree shall be planted.
- e. Additional tree-protection regulations, as well as clearing and grading permit guidelines, are found in Elizabeth's Landscape Regulations EMC 16-2- 50.

# CHAPTER 7: SIGN DESIGN STANDARDS & GUIDELINES

## Section 1: STANDARDS & GUIDELINES

### 1. Intent:

To provide for signage that is consistent with, and complementary to, the building design; and to provide general and specific design standards that supplement and complement sign regulations in EMC Chapter 16, Article XII.

### 2. General Design Standards and Guidelines:

- a. **Integration with Site and Building Design:** Signs shall reflect the overall site and building design and not be a separate design.
- b. **Innovative Graphics:** The use of creative graphic approaches is encouraged.
- c. **Individuality:** Signs should reflect the specific use and can even be whimsical. However, some aspects of continuity within a district, complex or development are desired.
- d. **Icons:** Easily identifiable, non-verbal graphic symbols are encouraged.
- e. **Quality:** Signs shall be of professional quality in design, materials, construction, graphics, lettering, and installation.
- f. **Materials:** Sign materials shall complement primary materials utilized by site building(s). Natural materials are encouraged.



*Quality signs with individual character and use of innovative graphics or icons are encouraged.*



*Shape, size and colors should be complementary and coordinated with the type and style of the building.*

- g. **Size:** Signs shall be subordinate, in proportion to, and not compete with or overwhelm associated and/or neighboring buildings.
- h. **Shape:** The shape of a sign should strive for simplicity, with all elements integrated.
- i. **Color:**
  - i. Sign colors shall be coordinated with, and complement each other and those of the site building(s).
  - ii. The number of colors in a sign should be limited, and color shall be used with restraint. A single base color with one or two complementary accent colors is recommended.

- j. Illumination:
  - i. Sign lighting shall not exceed that necessary for visibility to slow moving traffic and pedestrians.
  - ii. Illumination appropriate to zoning district and area is required.
  - iii. Light diffusion into the night sky shall be minimized.
  - iv. Sign illumination and design shall not produce an excessively bright light level, including glare, an island of light, or overpowering of other signs.

**3. Specific Design Standards and Guidelines:**

- a. Freestanding Signs:
  - i. Monument signs are preferred.
  - ii. Freestanding signs shall not clutter or obstruct public rights-of-way, including street trees and related streetscape improvements.
  - iii. The base of freestanding signs shall integrate with landscaping and other base treatments.



- b. Building Signs:
 

Building signs shall relate to building, including consideration of visibility from street, sidewalk, and parking lot.

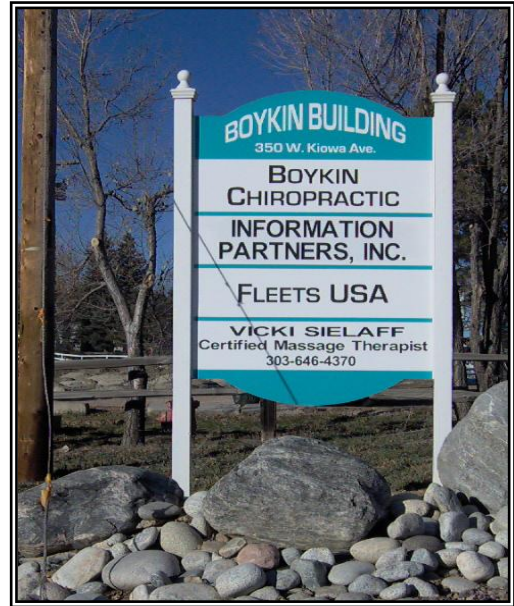
*Monument sign shows integrated landscaping and relation to building, lettering proportion and legibility.*

- c. Graphics & Lettering:
  - i. Sign panel and/or lettering shapes that complement or accentuate building form should be utilized.
  - ii. Sign graphics and lettering should emphasize legibility and simplicity.
  - iii. Letter size shall be balanced and in proportion to the size of the sign.
  - iv. Architectural or art quality lettering is encouraged.
  - v. Stand-alone raised letters, or ‘pan-channel’ lettering, are preferred against a façade.



d. Quantity/Number:

- i. Excess signage, overly duplicative signage, and signage that creates visual clutter is prohibited.
- ii. Where more than one business exists on a site, sign design shall be coordinated for the overall site.
- iii. Consolidated directory signs should be utilized.
- iv. Businesses are encouraged to limit the number and size of window signs in an effort to reduce visual clutter and maintain window transparency.



*The Boykin Building sign has many advantages: natural materials (wood); use of rock landscape material (as base/anchor); simple but appealing design (w/adjoining posts); simplicity in color (limited to white & black, but with eye-catching/not overwhelming aqua accent). Although type styles are similar, 'exact' calligraphy would have been preferred.*

## CHAPTER 8: CIRCULATION DESIGN STANDARDS & GUIDELINES

### Section 1: STREET DESIGN & STREET IMPROVEMENTS

#### 1. Intent:

To provide a safe street system that realizes multiple roles and opportunities in addition to carrying vehicles and promoting alternative modes of transportation.

#### 2. Design Standards and Guidelines:

##### a. Street Layout & Street Network:

- i. A grid to modified grid pattern of interconnected streets is the preferred pattern for new development.
- ii. A degree of curvilinear aspect to streets is permitted; however, excessive use of curvilinear streets or curvilinear portions of streets is prohibited.
- iii. New streets shall connect with existing streets unless circumstances would prohibit such connection.
- iv. Street rights-of-way, and street improvements as appropriate to site development, shall be provided to property edges for future connections.
- v. Dead-ends (cul-de-sacs, hammerheads, or otherwise) are strongly discouraged, and when utilized shall include pedestrian and/or bicycle connections to adjoining properties whenever reasonably possible.

##### b. Use of Alleys/ Rear Yard Access:

- i. Alleys are encouraged in all new residential projects.
- ii. Alleys shall also be retained and utilized for non-residential projects. Rear-of-building drives and parking lots are important for all non-residential uses.

##### c. Block Size/Street Length:

- i. Grid to modified grid blocks should not exceed ~300 feet in width and ~500 feet in length
- ii. Street corridors, whether straight or moderately curved, should range in length from 500 to 1,000 feet, and then terminate in a T-intersection or provide features like planter islands to reduce actual and perceived lengths.



*Alleys or rear-of-building parking/access are encouraged.*

d. Design Speeds:

Narrower streets, median strips, shorter curb radii, and on-street parking may be used to control design speeds. Additional features such as traffic islands and intersection bulb-outs may be incorporated in residential and non-residential contexts, as appropriate to control traffic speeds and enhance pedestrian orientation.

e. Street Improvements:

i. In the downtown area street frontage improvements should include: adequate sidewalks with brick pavers or accents, street trees, grates, and lighting.



ii. A range of street amenities (benches, trash bins, public art/sculpture and otherwise) shall be provided for commercially zoned or other high-pedestrian use areas. Materials and locations shall be selected for appropriate design, function, and uniformity.

iii. Bridge improvement projects shall incorporate traditional design elements, for example, open louvers in bridge abutments to enhance visual access to area resources.

*Use of brick pavers, shrubs, and street trees makes for an attractive street frontage.*

**Section 2:**  
**TRANSIT:**

**1. Intent:**

To encourage bus-type transit use, including safe and convenient pedestrian access to transit facilities.

**2. Design Standards and Guidelines:**

- a. Transit stops and improvements shall be provided where appropriate.
- b. Transit stops should include shelters, seating areas, and hard surface platform.

**Section 3:**  
**NON-MOTORIZED CIRCULATION**

**1. Intent:**

To provide a comprehensive non-motorized transportation and recreational network that links all neighborhoods and areas of the community.

**2. General Design Standards and Guidelines:**

- a. Development applications will be reviewed to determine what element(s) of the non-motorized network for which they are responsible.
- b. The network shall be comprised of the following elements:
  - i. Street sidewalks within street rights-of-way.
  - ii. Walkway(s) (i.e. sidewalks, pathways, equestrian trails) of various textures appropriate to the context on private and public sites.
  - iii. Designated local/regional trails along Running Creek and Gold Creek corridor greenbelts.
  - iv. Designated bicycle routes.
- c. Cumulatively, the network shall:
  - i. Include various hard-surface and soft-surface textures that provide a range of options and experiences for non-motorized users and comply with ADA requirements. Taking into consideration wheelchair and walker uses.
  - ii. Incorporate improvements and amenities for the convenience and enjoyment of users. (e.g. signage, parking at trailheads or access points, public restrooms, benches/seating, bicycle racks, hitching posts, lighting, water fountains, waste receptacles, etc.).

**3. Specific Design Standards and Guidelines:**

a. Walkway Linkage:

- i. Connection between the principal building entry and the street sidewalk is required.
- ii. Where more than one building or destination exists on a site, they shall be linked with walkways.
- iii. Walkways in association with landscape features are encouraged.
- iv. Where street sidewalks do not exist, provision for future site walkways to the street right-of-way as well as for construction of street sidewalks shall be made.

b. Surface Treatment:

- i. Hard-surface textures shall be utilized on all sites except those specifically intended or designed for soft-surface recreational use.
- ii. A variety of hard-surface materials may be utilized.
- iii. Within a site or area, surface walkway materials shall be coordinated to ensure that surfaces present a uniform, integrated, visually attractive and organized system.



*Brick pavers are utilized to provide a visual and textural delineation at this traffic intersection.*

- iv. Brick pavers or other accents shall be utilized at strategic, high-traffic street crossings. Painting across larger parking lots or at high-traffic intersection crossings is not acceptable as a sole means for pedestrian routing.
- v. Sidewalk and other walkway surfaces shall be of sufficient width to serve expected uses. Multi-purpose trails should generally be in the eight- (8) to 12-foot range.
- vi. Soft-surface materials shall be utilized where primitive trail/recreational opportunities are sought. As appropriate, soft-surface trail portions could be incorporated adjacent or proximate to hard-surface improvements to accommodate both surface options and experiences.

**Section 4:**  
**PARKING LOT LOCATION & DESIGN**

**1. Intent:**

To highlight building architecture, pedestrian and human orientation, and the relationship to public streets while minimizing the visual impacts of parking lots; to provide for clear internal vehicular and non-motorized circulation patterns and amenities, as well as vehicular and pedestrian safety.

**2. Design Standards and Guidelines:**

a. Front Yard Parking:

- i. Parking lots or parking areas shall not be located in front of MF buildings.
- ii. Front yard parking lots for non-residential buildings are discouraged. Where proposed, applicants shall demonstrate in writing and graphics, why rear yard, and/or side yard parking are not functionally feasible.

b. Side Yard Parking:

- i. Side yard parking areas for MF buildings are discouraged.
- ii. For all non-residential buildings, side yard parking is permitted.

c. Rear Yard Parking:

Rear yard parking in all zoning districts is encouraged.

d. Corner Lot Parking:

In all zoning districts, corner parking lots are discouraged.

e. Parking Lot Size & Other:

- i. Parking lots for MF residential and non-residential uses shall be divided and separated by site features (e.g. landscaping, pedestrian walkways, etc.)



*Multi-family building shows appealing front streetscape with side or rear yard parking, along with appropriate landscaping.*



- ii. Parking lots shall be accessed from minor streets and drives in contrast to major streets where feasible.
- iii. Shared parking and access among non-residential sites is encouraged.
- iv. Vehicular circulation patterns in parking lots and drives shall be clearly marked and/or evident by design.
- v. Provision shall be made for enhanced pedestrian circulation within parking lots.
- vi. Equestrian hitching posts and parking racks for bicycles shall be provided as appropriate to a site and building use.

**Section 5:**  
**RESIDENTIAL VEHICLE DRIVEWAYS/ACCESS**

**1. Intent:**

To provide safe and convenient vehicular access to sites without unduly diminishing non-motorized circulation and safety.

**2. Design Standards and Guidelines:**

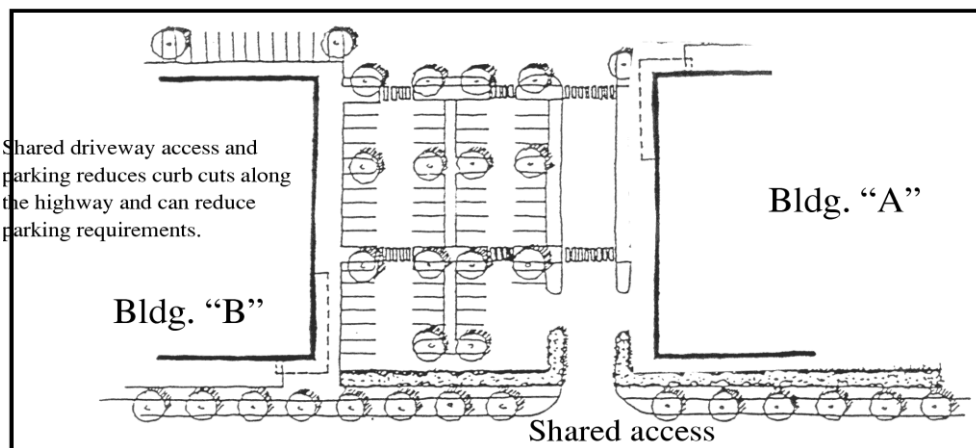
a. Single-Family [SF] and MF Dwellings:

- i. Shared access driveways are permitted.
- ii. Driveways, unless shared, should not be closer than five- (5) feet to an adjoining lot.
- iii. At street access point, widths shall not exceed 16-feet.
- iv. Multi-Family driveway widths shall not be less than 24-feet.

b. Access Drives/Curb Cuts:

(The following standards exclude individual SF detached homes.)

- i. Access drives/curb cuts shall be located and designed to promote improved traffic operations, including pedestrian orientation and safety.



Shared driveway access and parking reduces curb cuts along the highway and can reduce parking requirements.

Bldg. "B"

Bldg. "A"

Shared access

*Shared driveway access, shared parking, and good pedestrian linkages make for an exemplary circulation system.*